



2

Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: STEPHANIE BUBENHEIM, PLANNER II *SB*
(480) 503-6625, STEPHANIE.BUBENHEIM@GILBERTAZ.GOV

THROUGH: AMY TEMES, INTERIM PRINCIPAL PLANNER *AT*
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

MEETING DATE: AUGUST 1, 2018

SUBJECT: DR18-113, GILBERT SPECTRUM BUILDING ONE

STRATEGIC INITIATIVE: Economic Development

To allow for the development of a large business park.

REQUEST

DR18-113, Gilbert Spectrum Building One: Master site plan, site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 8.93 acres, generally located south of the southwest corner of McQueen and Elliot Roads and zoned Light Industrial (LI) and Community Commercial (CC) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT/OWNER

Company: LGE Design Group
Name: Holly Chilicas
Address: 740 N. 52nd Street
Phoenix, AZ 85008
Phone: (480) 966-4001
Email: hollyc@lgedesigngroup.com

Company: Suncap
Name: Jason Bria
Address: 6101 Carnegie Blvd. Ste. 180
Charlotte, NC 28209
Phone: (704) 945-8000
Email: n/a

BACKGROUND/DISCUSSION**History of Gilbert Spectrum**

Date	Description
August 12, 1986	The Town adopted Ordinance No. 470 (Z86-12) amending the Town zoning maps by changing the zoning classification from Agricultural (AG) to Planned Area Development (PAD).
September 29, 1987	Town Council adopted Ordinance No. 536 (Z87-12) amending the Town zoning map by changing the zoning classification from AG to Garden Industry (I-1) with a Planned Area Development (PAD) overlay.
March 28, 2000	Town Council adopted Ordinance No. 1257 (Z00-66) amending approximately 14 gross acres of the Fortune/Spectrum Astro PAD from Neighborhood Commercial (C-1) to Garden Industrial (I-1).
May 11, 2000	Design Review Board approved DR00-14 Spectrum Astro site plan and elevations
May 17, 2005	Design Review Board approved DR00-14 Spectrum Astro revised site plan and Buildings A1 and A2.
March 13, 2008	Design Review Board approved DR07-155 Gilbert Spectrum conceptual site plan for 80 acres, and detailed plans for 38 acres and 458,842 square feet of Light Industrial development.
May 28, 2008	Town Council approved GP08-07, a minor General Plan amendment to change the General Plan Land Use Classification from Light Industrial (LI) to Community Commercial (CC), and Z08-02 change the zoning designation on an approximately 13.7 acres site from Light Industrial (LI) with a PAD overlay to Community Commercial (CC) with a PAD overlay for the Gilbert Spectrum.
March 13, 2008	Design Review approved DR07-155 Conceptual Overall Site Plan, Lots 1 and 2 Site Plan/Landscape Plan/Grading and Drainage/Elevations/Floor Plans/ Lighting/Colors and Materials for Gilbert Spectrum. Approval Expired.
February 1, 2012	Town Council approved a Minor General Plan Amendment changing 4.68 acres of Community Commercial (CC) to Light Industrial (LI) and rezoning 4.68 from Community Commercial (CC) to Light Industrial (LI) with a Planned Area District Overlay.
April 9, 2015	Design Review Board approved DR15-08 Overall Site Plan and Phase 1 improvements for Gilbert Spectrum and Master Sign Program. A portion of Phase 1 Improvements were installed but

	Building 1 was not constructed.
June 9, 2016	Design Review Board approved DR16-15 Revised Master Site Plan for Gilbert Spectrum and Building 7 design package.

Overview

Gilbert Spectrum Business Park, located at the southwest corner of Elliot and McQueen Roads, is a ±63.37 acre project being developed by SunCap Property Group for the purpose of servicing prospective tenants wishing to locate in Gilbert. Gilbert Spectrum Master Site Plan conforms to the General Plan by providing buildings suitable for uses that are permitted within the existing zoning districts. The overall larger project is planned to provide approximately 754,000 square feet of light industrial and office uses. Gilbert Spectrum Business Park is being positioned to capture the higher end users looking to locate in a master planned and fully improved environment. The character and composition of the business park will be consistent with other business parks in the region with landscaping and curb appeal, creating an environment conducive to the attraction and retention of Fortune 500 companies.

Currently, Building 7 is developed within Gilbert Spectrum, and some Phase 1 improvements (the building 1 site was not constructed) and some of the Master Sign Plan components. Two main vehicular access points to the business park are provided, one from Elliot Road and the other from McQueen Road. Each main access drive provides a promenade experience through the use of symmetrical gabion walls and corten steel monument signage on both sides of the entry, lush landscape with palm tree accents and pedestrian sidewalks set back from the drive aisle curbs. The Phase 1 Tract A development at the Palo Verde Street main entry drive has been completed along with project signage. The same landscape theme and signage was installed at the intersection of McQueen and Elliot Roads.

This submittal is for revisions to the overall Master Site Plan and Building 1 Design Review package. Building 1, within the Gilbert Spectrum Business Park, is being developed as a build-to suite office/warehouse facility. The Building 1 site is approximately 8.93 acres net with a proposed one-story rectangular building consisting of 135,351 sf under roof with five (5) suites. The primary entrances and visitor's entrances to the suites face east along McQueen Road.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Light Industrial and Community Commercial	Light Industrial (LI) PAD and Community Commercial (CC) PAD	Elliot Road then Sunrise Business Park and vacant land
South	Public Facility/Institutional	Public Facility/Institutional (PF/I) PAD	Mesquite High School
East	Shopping Center, Residential >3.5-5 DU/Acre, Public Facility/Institutional	Shopping Center (SC) PAD, Single Family-6 (SF-6) PAD, and Public Facility/Institutional (PF/I) PAD	McQueen Road then Oasis at the Islands Shopping Center, Martinque III at the Islands Subdivision, and

			Islands Elementary School
West	Light Industrial	Light Industrial (LI) PAD	Orbital building and Elliot Commons Industrial Park
Site	Light Industrial and Community Commercial	Light Industrial (LI) PAD and Community Commercial (CC) PAD	Vacant land and Gilbert Spectrum Building 7

Project Data Table

Site Development Regulations	Required per LDC and Ordinance No. 2362	Proposed Building 1
Maximum Building Size	No Limit	135,351 SF
Maximum Building Height (ft.)/(Stories)	55'/3 story	42'/1 story
Minimum Building Setback (ft.)		
Front	30'	105'
Side (Non-residential)	0'	0', Internal to the project
Rear (Non-residential)	0'	0', Internal to the project
Minimum Required Perimeter Landscape Area (ft.)		
Front	30'	30'
Side (Non-residential)	5'	0', Internal to the project
Rear (Non-residential)	5'	0', Internal to the project
Parking Spaces	190 Required	192 provided

DISCUSSION

The project has completed first review and comments have been sent to the applicant. Additional comments, beyond what are included in this report, may be brought forward for discussion during the study session meeting.

Master Site Plan

The overall Master Plan will be modified as users are identified and internal property lines are adjusted based on uses and parking need. All of the buildings are depicted as single story, which make the buildings more flexible for various uses allowed within the Light Industrial and Community Commercial zoning districts. The buildings located at the Elliot and McQueen Roads intersection are zoned Community Commercial and are limited to a maximum of 50,000 sf each. Staff would like to see a continued emphasis on a main drive aisle route for truck route separation from parking spaces and pedestrian connections, lush landscaping and employee amenity areas throughout the business park. Staff is seeking comments from the Planning Commission regarding the revised layout of buildings and connectivity of the Master Site Plan.

Town of Gilbert Employment Design Guidelines requires pedestrian and employee amenity areas in large multi-building projects. One centralized employee amenity area is proposed on the master site plan with benches, tables and canopy structures. Staff has requested that employee

amenity areas also be located with Building 1 and other future buildings to provide an area close in proximity to the work environment that employees can utilize.

Building 1 Site Plan

The 8.93 net acre site for Building 1 consists of a 135,351 square foot 1-story warehouse building, 42' in height, with office space that will be built to suite. There are currently 5 suites proposed for the building of various sizes. The linear length of the building (778'8") will front along McQueen Road with the shorter sides (171') will be visible from the McQueen Road main project entrance and a full motion entrance separating Building 1 from the future commercial corner. A parking field wraps the south and east side of the building. A truck yard with loading docks will be located along the west side of the building surrounded by an 8'-tall CMU block wall. There are two proposed driveway entrances along Palo Verde Street and one proposed driveway entrance to the north of the site along a new private road, part of this limit of work.

Elevations, Floor Plan, Colors and Materials

Building 1 color scheme is consistent with the existing Building 7 color and materials pallet. The main body of the building will be concrete tilt panel painted "Sand Dune" and "Whole Wheat". The tenant entrances are recessed 3' from the main building plane. Entrances are further accented through the use of metal panel awnings and vertical movement with form-liner concrete panel with fluted rib form liner painted "Roxy Brown". The two suite entrances at the corners of the building wrap around to the north and south elevations. Two other entrances have metal panel wing wall accents that extend the full height of the building. Windows near entrances are store front type windows starting from the ground to 10' in height. All windows are located along the east elevation; glazing will be tinted blue and set in clear anodized aluminum frames. The north and south elevations have a rhythmic change of material every 24' to 25'. The tilt concrete panels are painted "Sand Dune" with the form-liner concrete panels painted "Roxy Brown" recessed 2-feet. There is some vertical movement at 2' in height when the concrete form-liner accent is used along the north/south/east elevations. The back of house, west elevation, is concrete tilt panel painted "Sand Dune" and is lined with roll up doors and man doors. The west elevation, rear of building, will be surrounded by an 8' tall CMU block wall with two security gates for the truck yard.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT

1. Overall master site plan layout and pedestrian connectivity
2. Building massing and movement, vertical movement
3. Employee amenity area

Respectfully submitted,

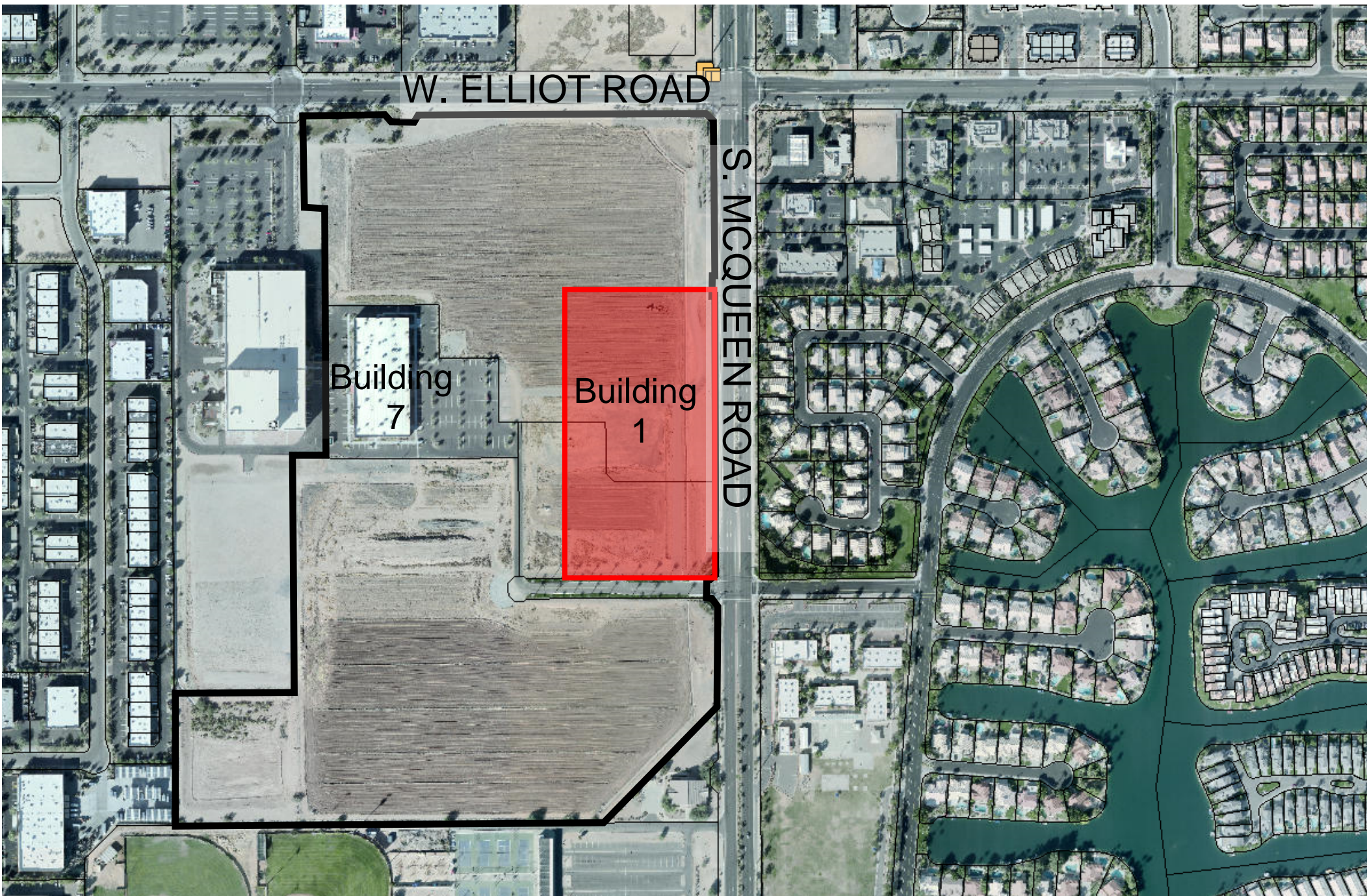
A handwritten signature in black ink, appearing to read 'S. B.', with a stylized flourish at the end.

Stephanie Bubenheim
Planner II

Attachments and Enclosures:

- 1) Aerial Photo
- 2) Master Site Plan
- 3) Site Plan
- 4) Landscape
- 5) Colors and Materials
- 6) Elevations
- 7) Floor Plan

GILBERT SPECTRUM



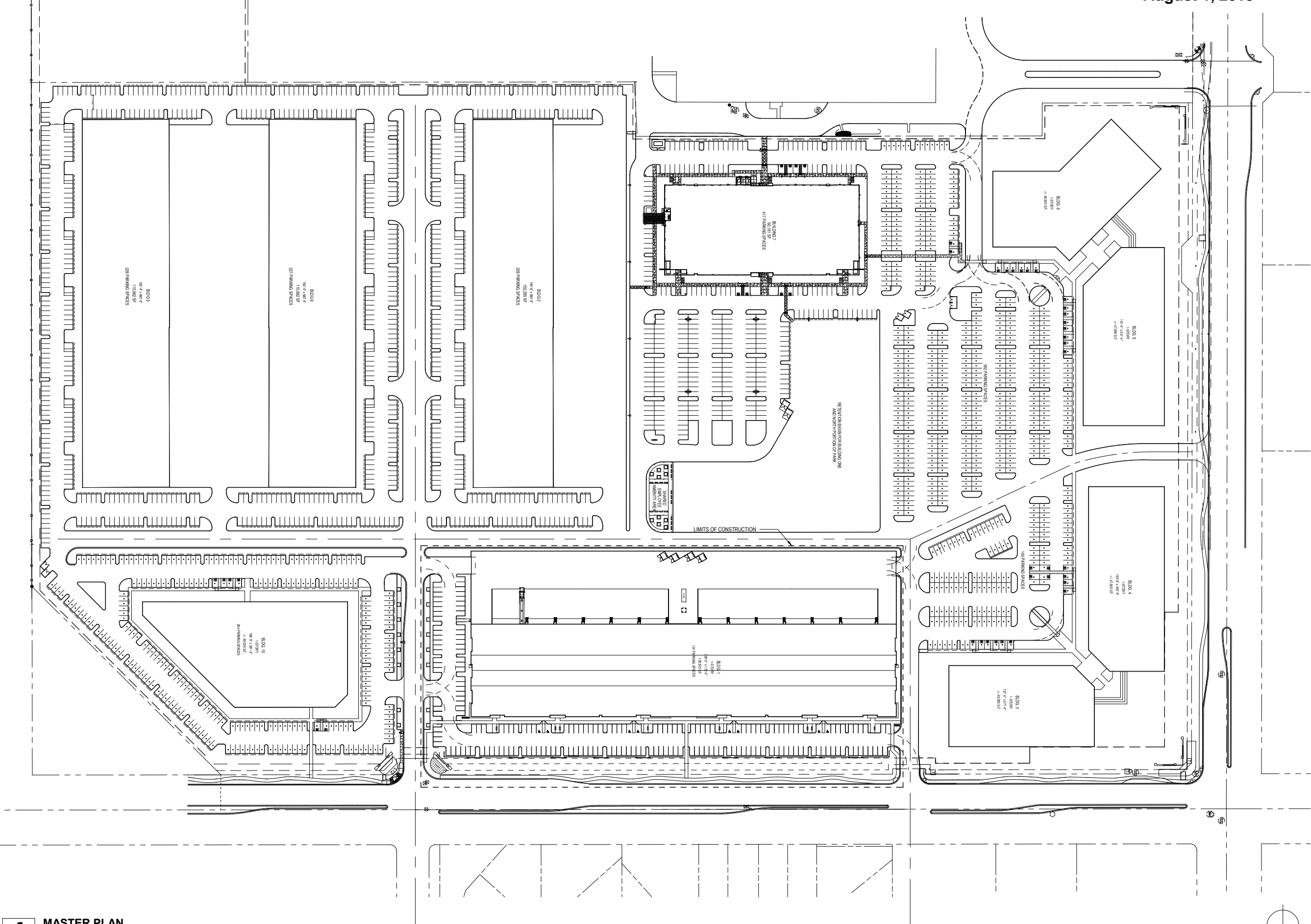
NUMBER	REVISION	DATE

NOT FOR
CONSTRUCTION

SHEET TITLE:	ARCHITECTURAL SITE PLAN - MASTER PLAN
ISSUE DATE:	Issue Date
DRAWN BY:	Author
CHECKED BY:	Checker
PROJECT No:	702018

A1.0.1

DRB SUBMITTAL - 06/07/2018



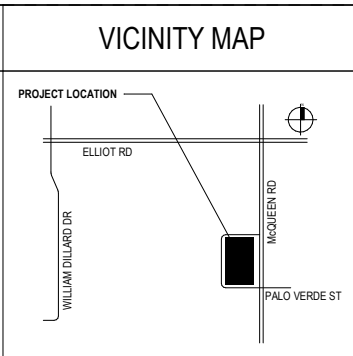


PROJECT DATA	
PROJECT ADDRESS:	
OWNER:	SUNCAP 6101 CARNEGIE BLVD SUITE 180 CHARLOTTE, NC 28209 PHONE: 704-945-8000
ARCHITECT:	LGE DESIGN GROUP 740 NORTH 52ND STREET PHOENIX, AZ 85008 STUDIO DIRECTOR: BEN MCRAE PHONE: 480-966-4001
PROJECT SCOPE:	ONE NEW OFFICE AND WAREHOUSE BUILDING
ASSESSOR PARCEL NO.:	312-35-531, 302-35-535
CURRENT ZONING:	L1

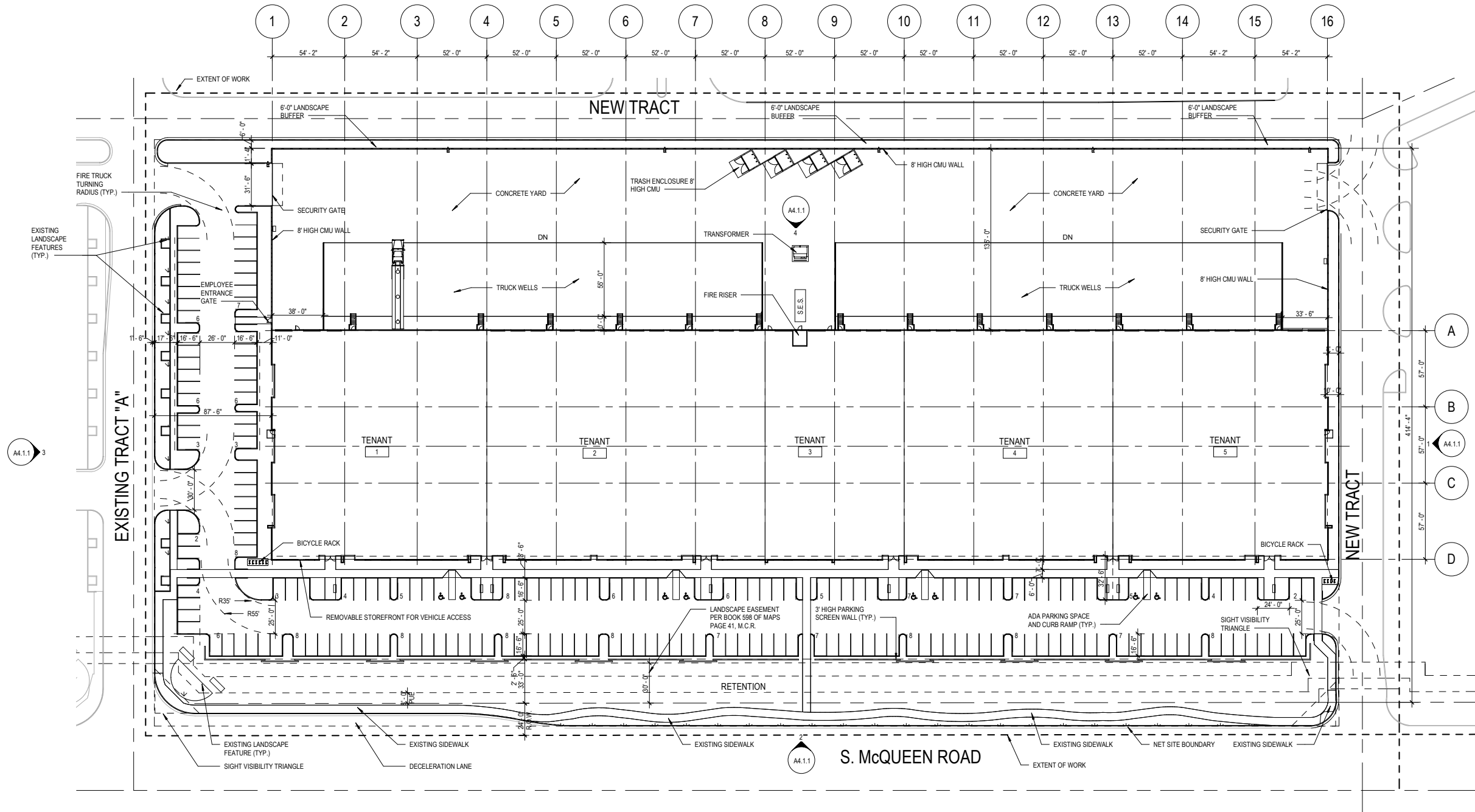
CURRENT ZONING:	L1
SITE AREA:	NET: +/- 388,839 S.F. (8.93 AC) GROSS: +/- 478,257 S.F. (10.98 AC)
LANDSCAPE AREA:	59,548 S.F. (15.0%)
STORIES:	ONE STORY
GROSS BUILDING S.F. WITH CANOPIES:	135,351 S.F. 1ST FLOOR 136,664 S.F.
LOT COVERAGE:	37.17%
OCCUPANCY:	B / S-1
CONSTRUCTION TYPE:	II-B
CLEAR HEIGHT:	32'-0"
BUILDING HEIGHT:	42'-0"

BUILDING USAGE	
ESTIMATED BUILDING USAGE AREA CALCS.	
OFFICE	44,317 S.F.
WAREHOUSE	91,034 S.F.
TOTAL	135,351 S.F.

PARKING CALCULATIONS			
REQUIRED PARKING CALCS:			
OCCUPANCY:	SQUARE FT:	FACTOR	TOTAL
OFFICE	17,866 S.F.	1 PER 250 S.F.	72 OCC.
WAREHOUSE	117,485 S.F.	1 PER 1000 S.F.	118 OCC.
TOTAL			190 OCC.
PARKING PROVIDED			
TOTAL REGULAR SPACES			182
TOTAL ACCESSIBLE SPACES			8
TOTAL SPACES			190
PARKING RATIO			1.40 PER 1000 S.F.



- GENERAL SHEET NOTES
- REFER TO THE COVER SHEET DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS AS WELL AS ABBREVIATIONS USED ON THIS DRAWING.
 - REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.
 - PARAPET TO SCREEN ALL MECHANICAL.
 - RETENTION @ FRONTAGE AND UNDERGROUND



LGE DESIGNGROUP

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P: 480.966.4001

SunCap
PROPERTY GROUP

GILBERT SPECTRUM

Enter address here

LGE
DESIGN BUILD

NUMBER REVISION DATE

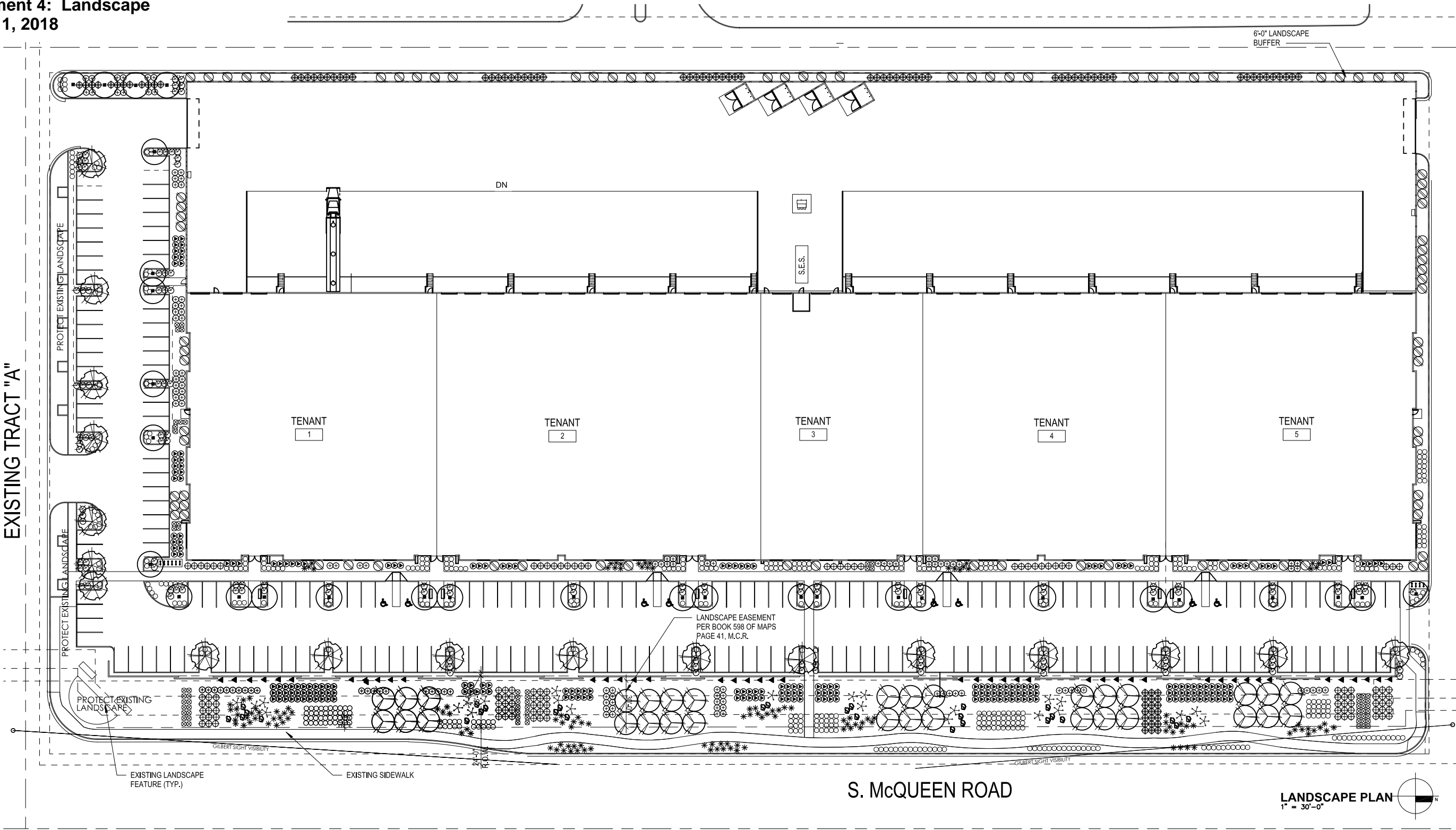
NOT FOR
CONSTRUCTION

SHEET TITLE:
ARCHITECTURAL SITE PLAN -
OVERALL
ISSUE DATE:
Issue Date
DRAWN BY:
START Sheet
CHECKED BY:
Checker
PROJECT No:
702018

A1.1.1

DRB SUBMITTAL - 06/07/2018

EXISTING TRACT "A"



S. McQUEEN ROAD

LANDSCAPE PLAN
1" = 30'-0"



- LANDSCAPE LEGEND**
- PINUS ELDARICA DISTRICT 1 THEME TREE 24" BOX
 - CERCIDIMUM 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE 24" BOX (MATCHING) (I)
 - QUERCUS VIRGINIANA LIVE OAK (I) 24" BOX
 - SOPHORA SECUNDIFLORA TEXAS MOUNTAIN LAUREL 15 GALLON (I)
 - TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON (I)
 - CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON (I)

- BOUGAINVILLEA 'BARBARA KARST' BOUGAINVILLEA 5 GALLON
- HESPERALOE PARVIFLORA RED YUCCA 5 GALLON (I)
- DASYLIRION WHEELERII DESERT SPOON 5 GALLON (I)
- MUHLENBERGIA 'REGAL MIST' REGAL MIST DEER GRASS 5 GALLON (I)
- RUPELLIA PENINSULARIS BAJA RUELLIA 5 GALLON (I)
- LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON (I)

- AGAVE GEMNIFLORA TWIN FLOWERED AGAVE 5 GALLON (I)
- ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS 10" ROUND (MATCHING) (I)
- 3'x3'x3' SURFACE SELECT GRANITE BOULDER MINIMUM 2000lbs EACH (I)
- 1/2" SCREENED APACHE BROWN DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE CALCULATIONS:

OFF-SITE LANDSCAPE AREA: 6,841 SQ.FT.
ON-SITE LANDSCAPE AREA: 67,451 SQ.FT.
TOTAL LANDSCAPE AREA: 74,292 SQ.FT.

TOWN OF GILBERT LANDSCAPE NOTES:

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD IN PDF FORMAT AS-BUILTS ARE ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED, THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HERIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.

NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.

CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. GAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

ATTENTION:

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869) OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX.

ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

T.J. McQUEEN & ASSOCIATES, INC.

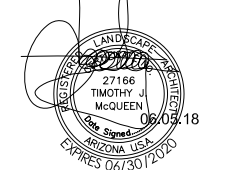
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street , Suite 120
Scottsdale, Arizona 85258
P. (602) 265-0320

EMAIL: timmcqueen@tjma.net



NUMBER	REVISION	DATE



SHEET TITLE:	
ISSUE DATE:	06.05.18
DRAWN BY:	AWM/TJM
CHECKED BY:	TJM
PROJECT No.:	
SHEET:	

La.01

GILBERT SPECTRUM

S.W.C ELLIOT RD. & McQUEEN RD
TOWN OF GILBERT, AZ

LGE DESIGNGROUP

740 N. 52nd Street • Phoenix, AZ • 85008
P: 480.966.4001



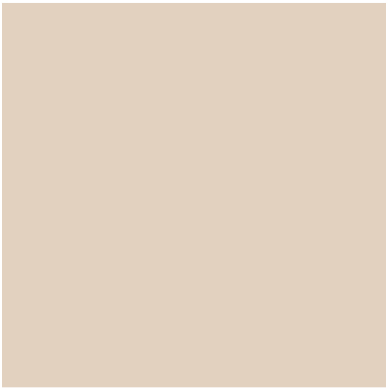
Glass
Blue Reflective



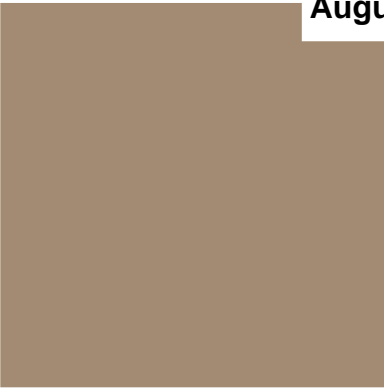
Anodized Aluminum Storefront
Dark Bronze (AB-7)
Arcadia



MP - Dark Bronze
Pro Finish 500
RMP Rollfab



P1 - Sand Dune
DE6128
Dunn Edwards



P2 - Whole Wheat
DE6124
Dunn Edwards



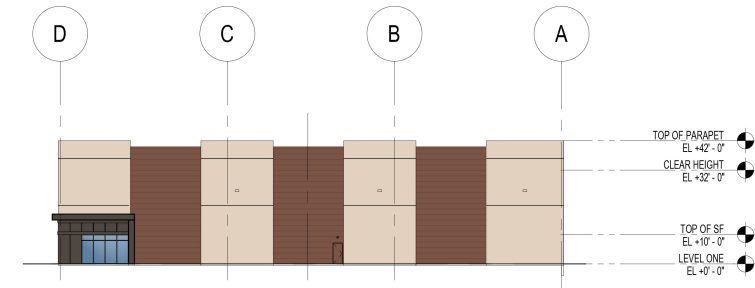
P2 - Roxy Brown
DE6084
Dunn Edwards



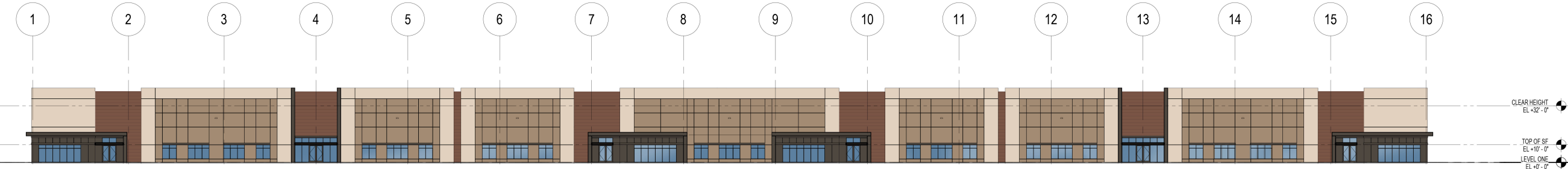
Rendering View

GENERAL SHEET NOTES

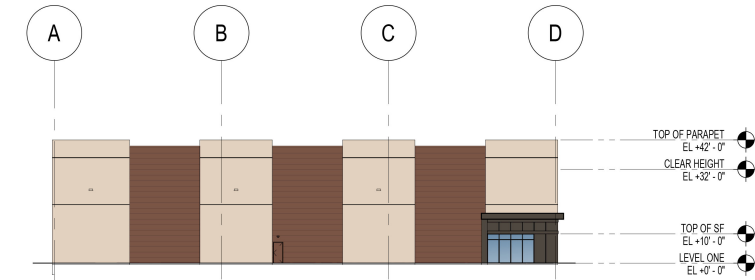
- A. REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.
- B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS SHEET.
- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO THE A4.4 X SERIES SHEETS FOR ENLARGED EXTERIOR ELEVATIONS.
- E. REFER TO THE A5.4 X SERIES SHEETS FOR EXTERIOR WINDOW AND LOUVER FRAME ELEVATIONS.



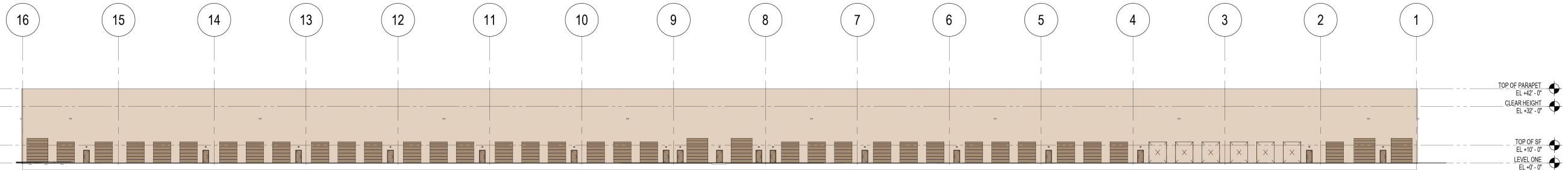
1 NORTH ELEVATION - OVERALL
1" = 30'-0"



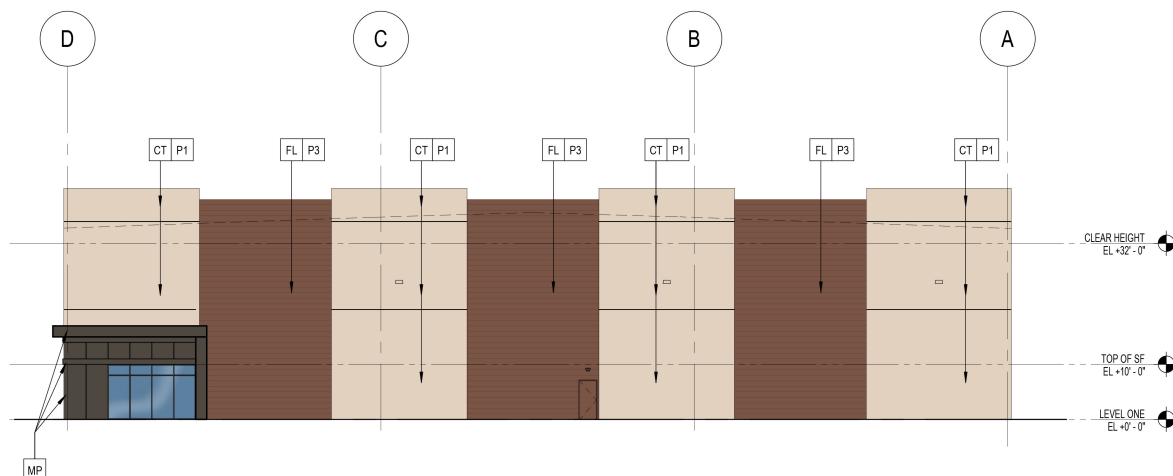
2 EAST ELEVATION - OVERALL
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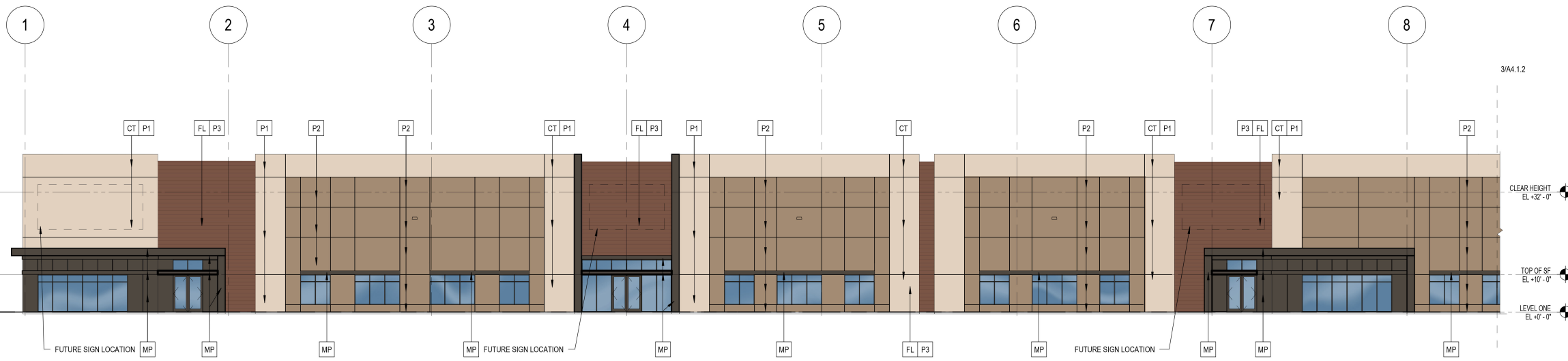
3 SOUTH ELEVATION - OVERALL
1" = 30'-0"



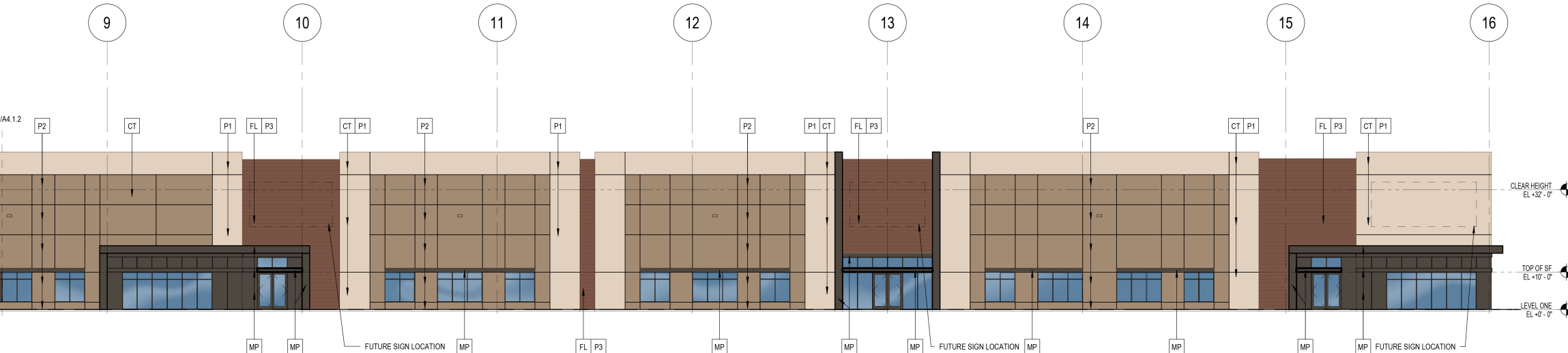
4 WEST ELEVATION - OVERALL
1" = 30'-0"



1 NORTH ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION - PART ONE
1/16" = 1'-0"



3 EAST ELEVATION - PART TWO
1/16" = 1'-0"

GENERAL SHEET NOTES

- A. REFER TO THE COVER SHEET DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS AS WELL AS ABBREVIATIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.
- C. PARAPET TO SCREEN ALL MECHANICAL.
- D. RETENTION @ FRONTAGE AND UNDERGROUND

SHEET KEYNOTES

MATERIAL

KEY:	DESCRIPTION:
CT	CONCRETE TILT PANEL
FL	FORM LINER - CONCRETE PANEL W/FLUTED RIB FORM-LINER 4" ON CENTER 1/2" DEPTH MAX PAINTED
MP	METAL PANEL - PRO FINISH 500 COOL COLORS PRIMARY SELECTION, DARK BRONZE

GLAZING KEY:	DESCRIPTION:
FRAMES	TRI FAB VG 451 T, 2" X 4 1/2" CENTER GLAZED, AB-7 STD DARK BRONZE ALUMINUM
GLAZING	1" HIGH PERFORMANCE BLUE REFLECTIVE GLASS

PAINT KEY:	DESCRIPTION:
P1	DUNN EDWARDS - #DE6128 "SAND DUNE"
P2	DUNN EDWARDS - #DE6124 "WHOLE WHEAT"
P3	DUNN EDWARDS - #DE6084 "ROXY BROWN"

- PAINTING NOTES:
1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED
 2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF-WHITE COLORS.
 3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
 4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.

LGE DESIGNGROUP

740 N. 52nd Street • Phoenix, AZ • 85008
P: 480.966.4001

SunCap

PROPERTY GROUP

GILBERT SPECTRUM

Enter address here

LGE

DESIGN BUILD

NUMBER	REVISION	DATE

NOT FOR

CONSTRUCTION

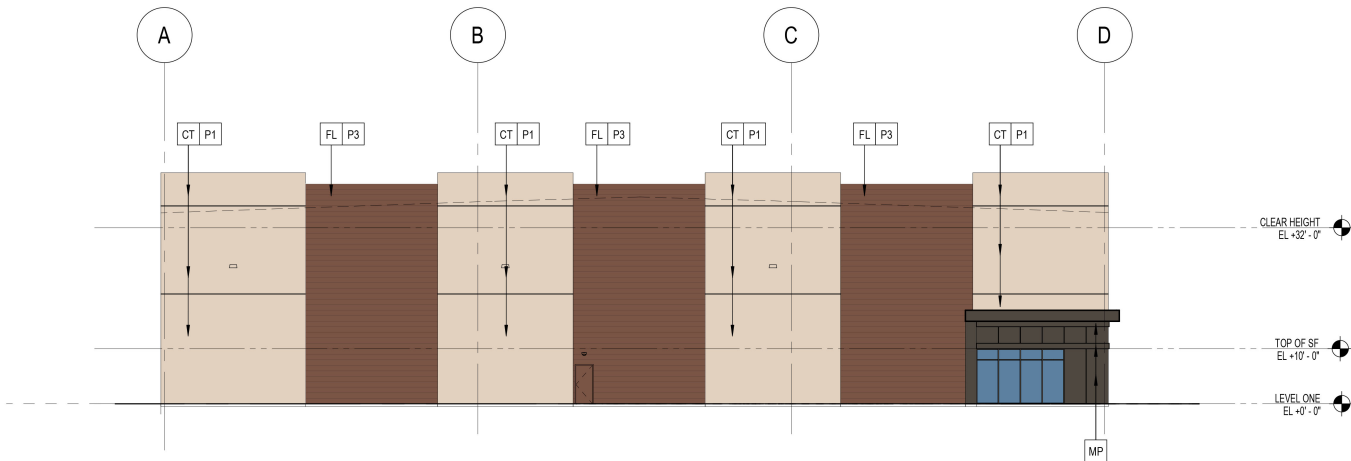
SHEET TITLE:

EXTERIOR BUILDING ELEVATIONS

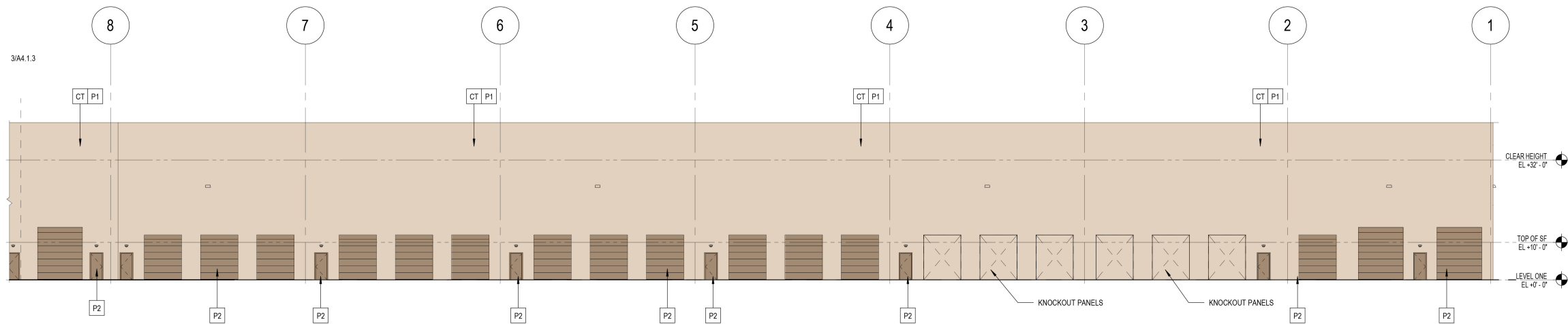
ISSUE DATE:	Issue Date
DRAWN BY:	Author
CHECKED BY:	Checker
PROJECT No:	702018

A4.1.2

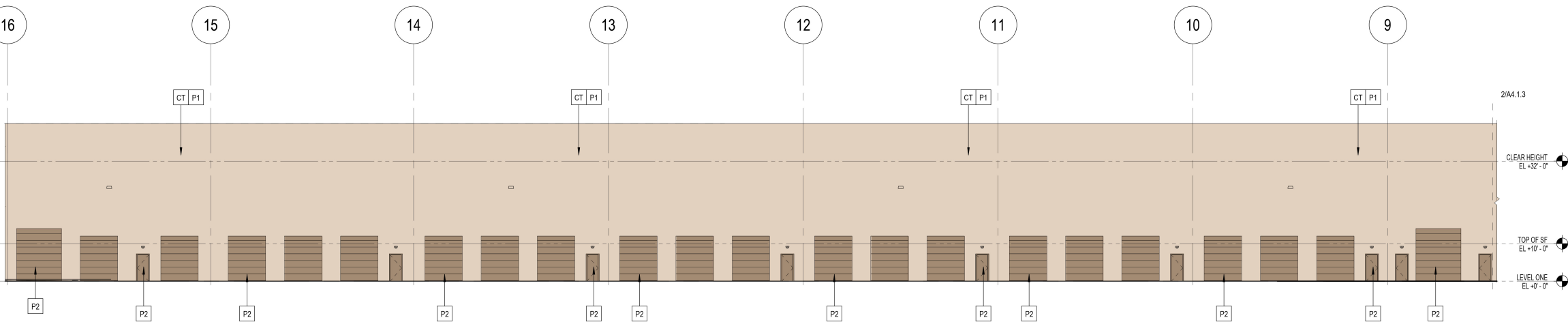
COLOR - PURPOSE - DATE



1 SOUTH ELEVATION
1/16" = 1'-0"



2 WEST ELEVATION - PART ONE
1/16" = 1'-0"



3 WEST ELEVATION - PART TWO
1/16" = 1'-0"

GENERAL SHEET NOTES

- A. REFER TO THE COVER SHEET DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS AS WELL AS ABBREVIATIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.
- C. PARAPET TO SCREEN ALL MECHANICAL.
- D. RETENTION @ FRONTAGE AND UNDERGROUND.

SHEET KEYNOTES

MATERIAL

MATERIAL/FINISHES SCHEDULE	
KEY:	DESCRIPTION:
CT	CONCRETE TILT PANEL
FL	FORM LINER - CONCRETE PANEL W/FLUTED RIB FORM- LINER 4" ON CENTER 1/2" DEPTH MAX PAINTED
MP	METAL PANEL - PRO FINISH 500 COOL COLORS PRIMARY SELECTION, DARK BRONZE

GLAZING KEY:	
MATERIAL:	DESCRIPTION:
FRAMES	TRI FAB VG 451 T, 2" X 4 1/2" CENTER GLAZED, AB-7 STD DARK BRONZE ALUMINUM
GLAZING	1" HIGH PERFORMANCE BLUE REFLECTIVE GLASS

PAINT KEY:	
KEY:	DESCRIPTION:
P1	DUNN EDWARDS - #DE6128 "SAND DUNE"
P2	DUNN EDWARDS - #DE6124 "WHOLE WHEAT"
P3	DUNN EDWARDS - #DE6084 "ROXY BROWN"

- PAINTING NOTES:
1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED
2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF WHITE COLORS.
3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.

GENERAL SHEET NOTES

- A. REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.
- B. FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, REFER TO THE G2.X SERIES SHEETS LOCATED PER THE PROJECT SHEET INDEX.
- C. REFER TO THE A3.X SERIES SHEETS FOR THE REFLECTED CEILING PLANS.
- D. REFER TO THE A9.2.X SERIES SHEETS FOR PARTITION SYSTEMS TYPES AND DETAILS.
- E. REFER TO THE A9.3.X SERIES SHEETS FOR THE INTERIOR OPENING SCHEDULE(S), TYPES, AND DETAILS.
- F. REFER TO THE 'AF' SERIES SHEETS FOR INTERIOR FINISH INFORMATION.
- G. REFER TO THE 'AI' SERIES SHEETS FOR INTERIOR FURNISHING INFORMATION.

SHEET KEYNOTES

LGE DESIGNGROUP
740 N. 52nd Street • Phoenix, AZ • 85008
P: 480.966.4001

SunCap
PROPERTY GROUP

GILBERT SPECTRUM

LGE
DESIGN BUILD

NUMBER	REVISION	DATE

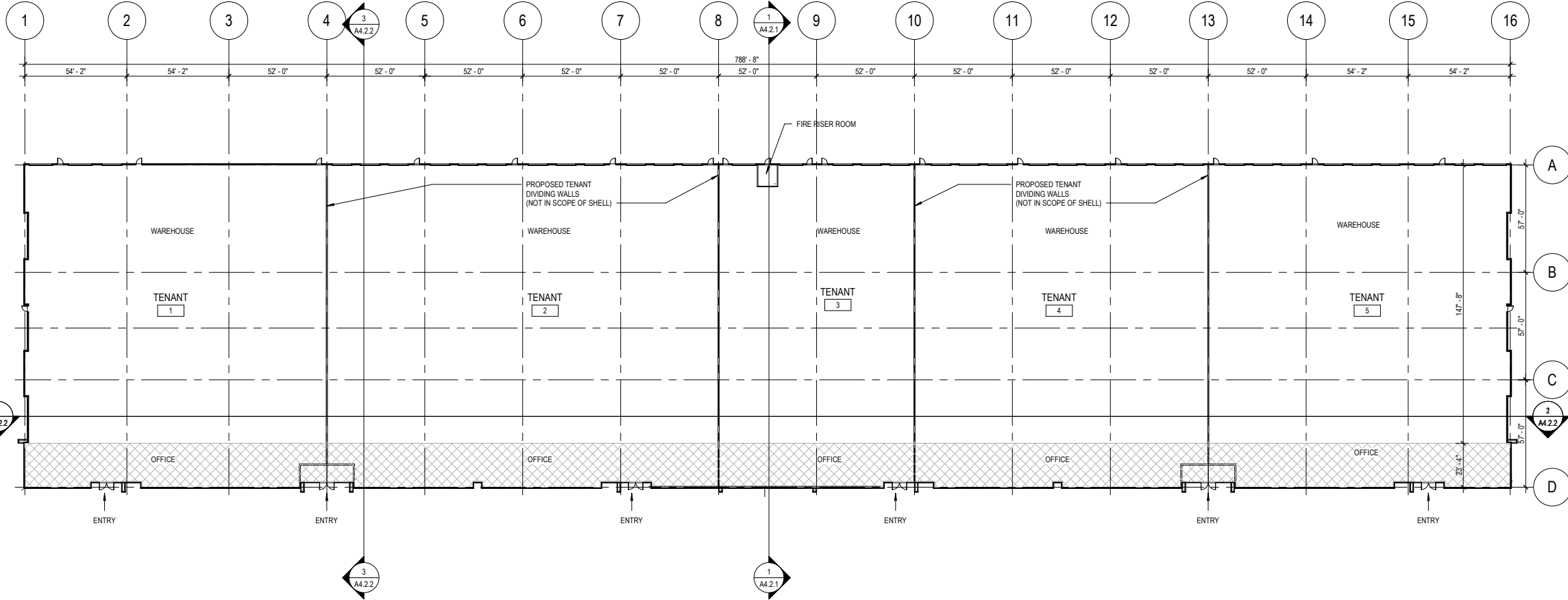
NOT FOR
CONSTRUCTION

SHEET TITLE:	LEVEL ONE FLOOR PLAN - OVERALL
ISSUE DATE:	Issue Date
DRAWN BY:	START Sheet
CHECKED BY:	Checker
PROJECT No:	702018

A2.1.1

DRB SUBMITTAL - 06/07/2018

Enter address here



1 FLOOR PLAN - OVERALL
1/32" = 1'-0"